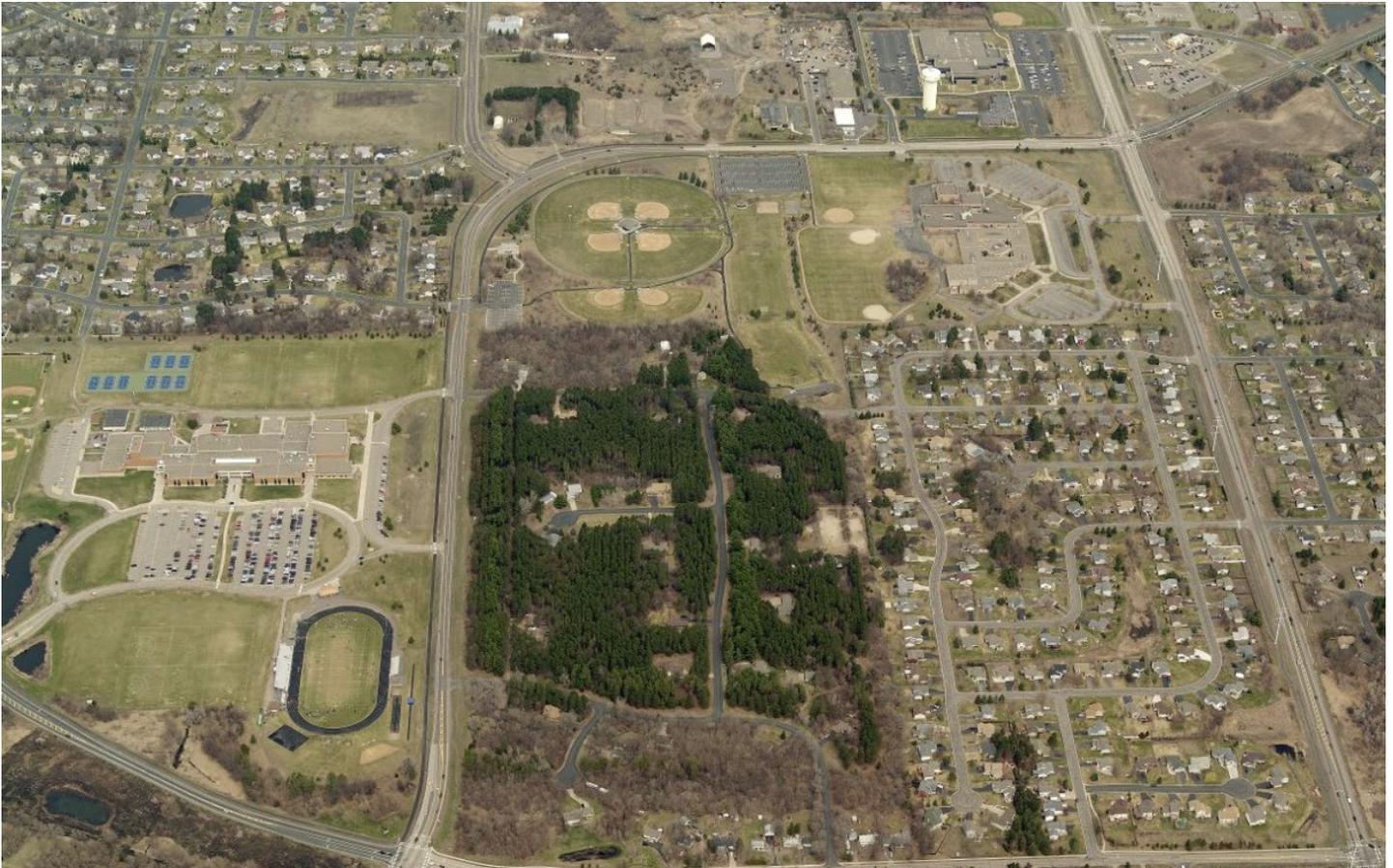


CITY OF
ANDOVER
Minnesota

2018

Planning Commission Annual Report



CITY OF ANDOVER
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2018 Planning Commission Annual Report

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Application Summary Table

Type of Case	2012	2013	2014	2015	2016	2017	2018
Comprehensive Plan Amendment	1	1	0	3	0	1	1
Conditional Use Permit	6	11	5	6	1	6	6
Interim Use Permit	-	-	3	5	5	1	1
Registered Land Surveys	0	0	2	0	0	0	0
Lot Split	1	1	0	1	0	4	4
Rezoning	1	2	4	3	0	1	2
Variance	1	2	1	1	0	5	4
City Code Amendment	5	4	2	1	1	4	2
Preliminary Plat Review	3	5	7	4	1	1	6
Sketch Plan Review	0	3	2	1	1	0	3
Planned Unit Development	0	0	0	2	2	1	1
Work Session Item	4	1	3	7	10	9	8
Annual Totals	22	30	29	34	21	33	38

Planning Case Log

CUP	Conditional Use Permit/Amended Conditional Use Permit
CCA	City Code Amendment
CPA	Comprehensive Plan Amendment
IUP	Interim Use Permit
LS	Lot Split
PP	Preliminary Plat/Revised Preliminary Plat Review
PUD	Planned Unit Development/ Planned Unit Development Amendment
REZ	Rezoning
SP	Sketch Plan/Concept Plan Review
VAR	Variance
WS	Workshop Items

Planning Case Log

File	Location	Description
CUP 18-01	3121 161 st Ave	A CUP is required for all dog boarding facilities.
CUP 18-02	15216 Bluebird St.	An amended CUP is required to revise the approved PUD.
CUP 18-03	15920 7 th Ave	An amended CUP is required to allow for additional utility structures.
CUP 18-04	Petersen Farms	A CUP is required to establish the Preserve at Petersen Farms PUD.
CUP 18-05	Petersen Farms	A CUP is required for an amendment to the Preserve at Petersen Farms PUD.
CUP 18-06	Petersen Farms	A CUP is required for an amendment to the Preserve at Petersen Farms PUD.
CCA	General Code Revisions	Accessory structure/religious institution, pods, ROW and small cell town revisions.
IUP 18-01	16045 Nightingale St NW	An IUP was required to allow the portable storage buildings for an extended period of time.

Planning Case Log

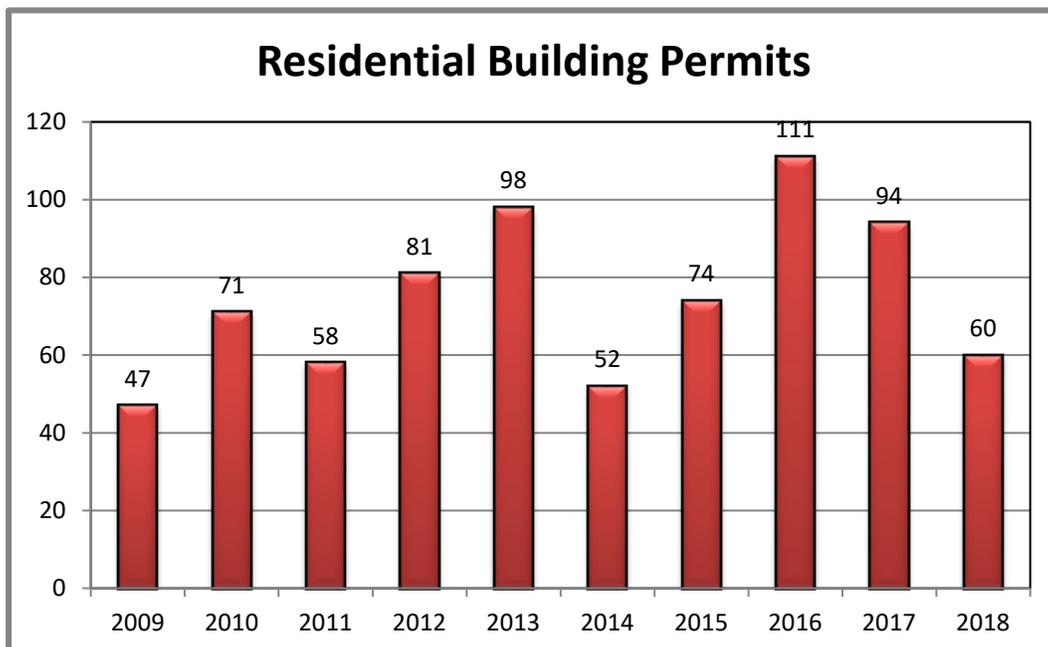
File	Location	Description
PUD	Petersen Farms	Developing Petersen Farms into a community of rural residential properties.
PP	Preserve at Petersen Farms	A large rural residential development.
PP	Estates at Cedar Ridge	Looking to do 2.5 acre lots.
PP	Catcher's Creek East	39 urban lots proposed for development.
PP	Winslow Cove	80 urban lot development.
PP	Shaw's Glen 2 nd Addition	5 lots proposed for development.
PP	White Pine Wilderness	14 urban lots proposed for development.

Planning Commission Workshop Meetings

2/13/2018	Discussion of a CUP for a commercial kennel, preliminary plat for Shaw's Glen 2 nd Addition and a sketch plan for Andover Farms.
6/12/2018	Discussion of the comp plan update.
7/24/2018	Discussion of the comp plan update.
8/28/2018	Discussion of the comp plan update.
9/25/2018	Discussion of the comp plan update.
10/9/2018	Discussion of the comp plan update.

Building Permits

<i>Type of Permit</i>	<i>2013</i>	<i>2014</i>	<i>2015</i>	<i>2016</i>	<i>2017</i>	<i>2018</i>
Residential	98	52	74	111	94	60
Additions	17	10	19	16	31	23
Garages/Shed/Pole Barns	13	15	17	9	22	32
Basement Finishes	50	42	39	37	59	76
Swimming Pools	8	10	12	20	15	14
Porch/Deck/Gazebo	113	102	112	108	121	78
Re-Roof/Siding	238	150	166	186	218	263
Commercial Fire Sprinkler	11	7	9	10	8	11



Relocated/Rebranded Businesses

Pack Leader Behavior & Training
Commercial Animal Training Facility
15825 7th Avenue NW
763-242-7475



City Chiropractic & Massage
15190 Bluebird St NW #108
Andover, MN 55304
612-706-8900



Speedway
13727 Hanson Blvd NW
Andover, MN 55304
763-767-2550



New Businesses

Realty ONE Group
1893 Station Pkwy. NW
Andover, MN 55304
763-400-3680



FedEx Office Print & Ship Center
(Inside Walmart)
1851 Bunker Lake Blvd NW
Andover, MN 55304
763-292-8118



Muddy Paws Doggy Daycare
3121 161st Ave. NW
Andover, MN 55304
763-607-1711



Growing Generations
15126 Bluebird St NW
Andover, MN 55304
763-208-7858



Meeting Attendance

= Present
 = Absent
 = Meeting Cancelled

	Cleven, Timothy	Daninger, Dean	Hudson, Scott	Koehler IV, Bert	Nemeth, Kyle	Loehlein, Nick	Sims, Jeff	VanderLaan, Mary
January 9 th								
February 13 th								
March 13 th								
March 27 th								
April 10 th								
May 8 th								
May 22 nd								
June 12 th								
July 10 th								
July 24 th								
August 15 th								
August 28 th								
September 11 th								
September 25 th								
October 9 th								
November 13 th								
December 11 th								

Planning Commission Members and Staff

Planning Commission

Bert Koehler IV	Vice Chair	Term Expires January 1, 2022
Dean Daninger	Commissioner	Term Expires January 1, 2020
Scott Hudson	Commissioner	Term Expires January 1, 2022
Jeff Sims	Commissioner	Term Expires January 1, 2020
Kyle Nemeth	Chairman	Term Expires January 1, 2021
Nick Loehlein	Commissioner	Term Expires January 1, 2021
Mary VanderLaan	Commissioner	Term Expires January 1, 2020
Timothy Clevon	Commissioner	Resigned April 10, 2018

Community Development Department Staff

Joe Janish	Community Development Director
Stephanie Hanson	City Planner
Dan Krumwiede	Associate Planner
Brenda Holmer	Planning Secretary

CODE ENFORCEMENT ANNUAL SUMMARY:

In 2018, 259 complaints were reported and 245 cases were resolved. There are 13 active cases pending inspection or requiring additional follow-up carried into 2019. One of the 13 cases are pending legal action. Table A below demonstrates the cases carried to 2019:

Table A.
Cases Carried into 2019

12	New Complaints Pending Code Enforcement
1	All Legal Cases Pending
13	Total Cases Pending Action

Of the 245 cases resolved in 2018, 2 were carried over from 2017. The remaining 243 were new complaints generated in 2018. This is demonstrated in Table B below:

Table B.
Cases Resolved

243	New Cases Resolved (Cases Reported in 2018)
2	Cases Resolved Carried From 2016
245	Total Cases Resolved

One hundred forty three of the 245 cases resolved required one inspection/mailling notification. This accounts to over 58.3% of complaints being resolved following the first notification letter. Ten properties required abatement and 11 legal cases were resolved in 2018. Table C below shows the efficiency in resolving Code complaints:

Table C.
Resolution Efficiency

143	Cases resolved with 1 mailing notification
42	Cases resolved with 2 mailing notifications
11	Cases resolved through the legal process
10	Cases resolved through abatement
39	Cases not present or inaccessible
245	Total cases

TRENDS:

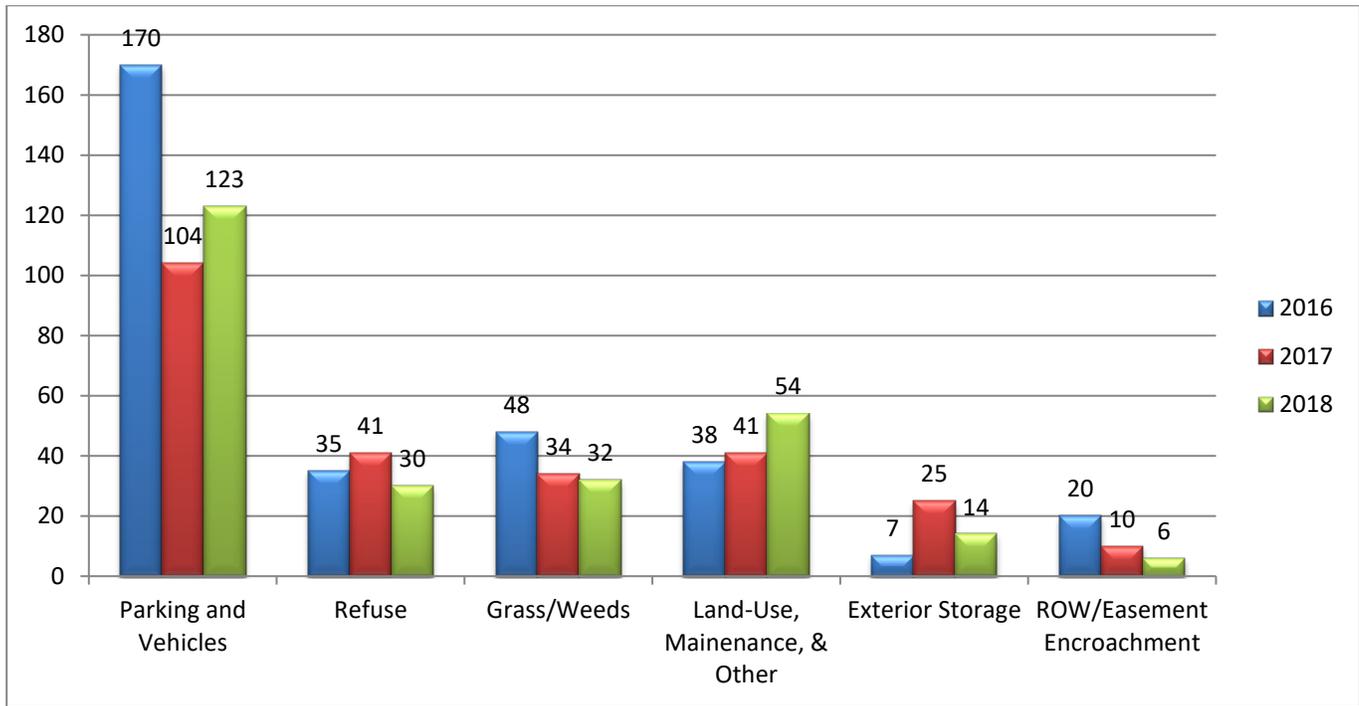
In comparison to the previous years, 2018 saw a small increase in the number of Code complaints. Table D demonstrates the complaints by year:

Table D.
Complaints by Year

259	Complaints in 2018
256	Complaints in 2017
315	Complaints in 2016
343	Complaints in 2015
210	Complaints in 2014

In observing the chart below highlighting the specific nature of the complaints received, there are a few noteworthy trends. Certain violations seem to remain consistent on a yearly basis such as *Refuse and Grass/Weeds*, with *Exterior Storage* leveling off. Complaints regarding *Parking* have seen a slight increase. *ROW/Easement Encroachment* and *Grass/Weeds* have seen a slight decrease compared to previous years.

Nature of Complaints by Year



If you have any questions regarding this report or specifics regarding Code complaints, abatements, or the City Attorney involvement, please contact staff and additional information can be provided.