

DEVELOPER
MARK SMITH
 2120 OTTER LAKE DRIVE
 SAINT PAUL, MINNESOTA 55110
 TEL: (612) 490-4558

MUNICIPALITY
CITY OF ANDOVER

PROJECT
CATCHERS CREEK EAST
 ANDOVER, MINNESOTA
SHEET INDEX

SHEET	TITLE
C2.1	CIVIL TITLE SHEET
C2.2	EXISTING CONDITIONS & DEMOLITION
C2.3	PRELIMINARY PLAT & SITE PLAN
C2.4	PRELIMINARY PLAT & SITE PLAN
C2.5	EROSION, DRAINAGE & EROSION CONTROL
C2.6	EROSION, DRAINAGE & EROSION CONTROL
C2.7	SWAMP NOTES
C2.8	PRELIMINARY UTILITIES
C2.9	PRELIMINARY UTILITIES
C2.10	CIVIL CONSTRUCTION DETAILS
C2.11	LANDSCAPE PLAN

RECEIVED
JAN 28 2019

CITY OF ANDOVER

ISSUE / REVISION HISTORY
 CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	ISSUE / REVISION	REVIEW
27 OCT 2017	PRELIMINARY PLAT SUBMITTAL	CC
13 DEC 2017	REVISIONS PER CITY REVIEW #1	ROA
20 JAN 2018	REVISIONS PER CITY REVIEW #2	ROA
16 MAR 2018	REVISIONS PER CITY REVIEW #3	ROA
17 DEC 2018	REV. LAYOUT FOR UNIVERSITY AVE. EXT.	ROA
24 JAN 2019	REVISIONS PER CITY REVIEW #5	ROA

PROJECT MANAGER REVIEW

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SOUTHWEST CORNER OR FOUR CORNERS OF ANY LOT ARE NOT VISIBLE, THIS SHEET HAS BEEN REFERENCED TO THE PREVIOUS SHEET FOR READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

REVISED PRELIMINARY PLAT
 01.24.2019

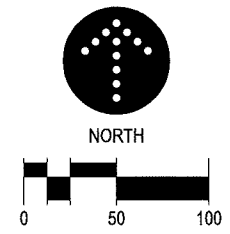
LANDFORM
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C201MEH131028.001.DWG
 PROJECT NO.: MEH131028.001

PRELIMINARY PLAT & SITE PLAN
C2.1
 SHEET NO. 3/11

Know what's Below.
 Call before you dig.



ZONING SUMMARY

CURRENT ZONING	= R-1 SINGLE FAMILY RURAL RESIDENTIAL
PROPOSED ZONING	= R-4 SINGLE FAMILY URBAN RESIDENTIAL
PROPOSED USE	= URBAN RESIDENTIAL
WATERSHED DISTRICT	= COON CREEK WATERSHED DISTRICT

LEGAL DESCRIPTION
 PRELIMINARY PLAT DESCRIPTION
 LOT 5; THE NORTH 150 FEET OF LOT 6; THE NORTH 673.01 FEET OF LOT 8; AND, LOT 9, AUDITOR'S SUBDIVISION NO. 141, ANOKA COUNTY, MINNESOTA.

OWNER / SUBDIVIDER: MARK SMITH
 2120 OTTER LAKE DRIVE
 SAINT PAUL, MN 55110
 DESIGNER / SURVEYOR: LANDFORM PROFESSIONAL SERVICES
 105 SOUTH 5TH AVENUE
 MINNEAPOLIS, MN 55401

SETBACK SUMMARY

BUILDING SETBACK INFORMATION IS AS FOLLOWS:

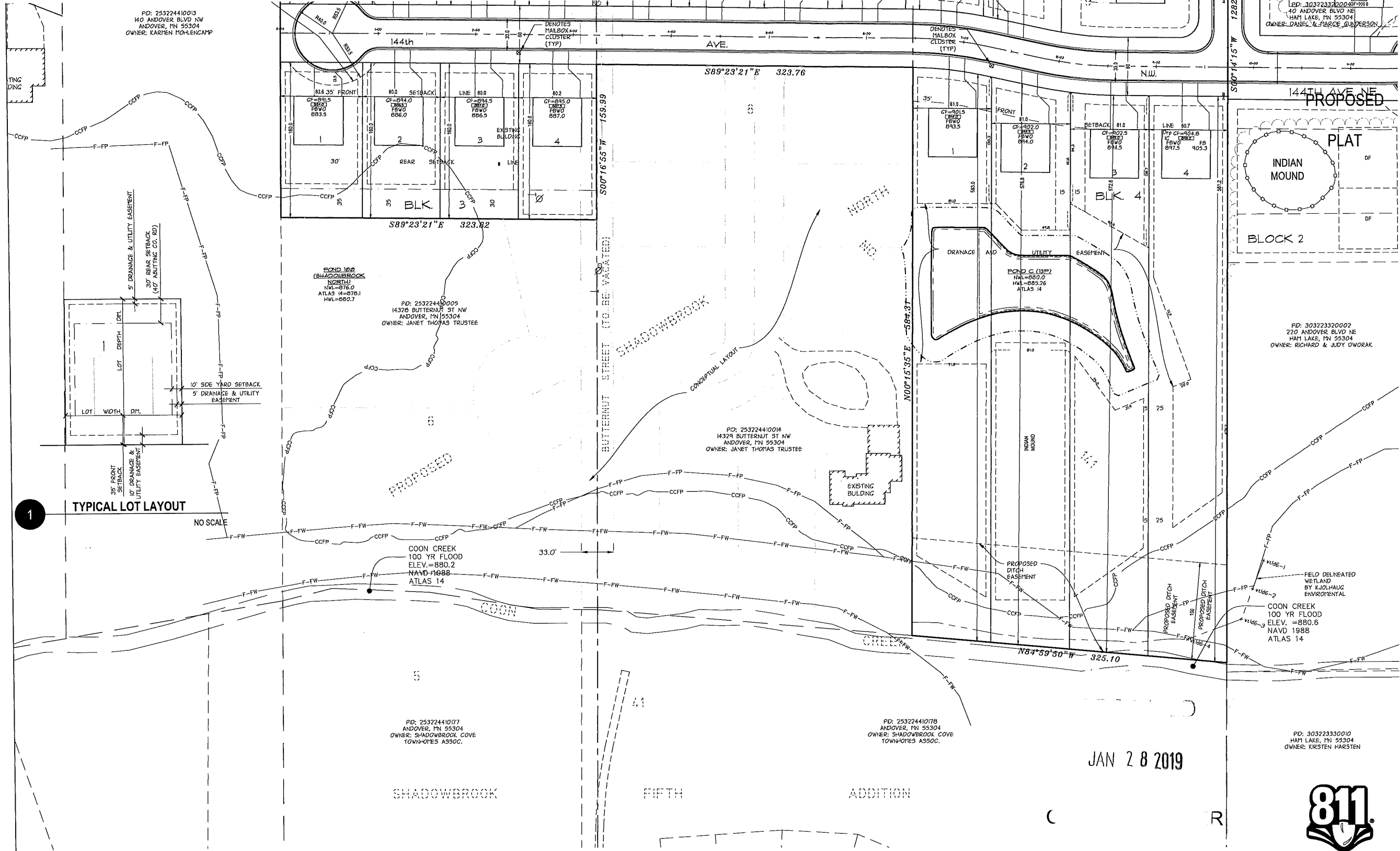
FRONT YARD	= 35 FT.
REAR	= 30 FT.
REAR (ABUTTING A COR'D)	= 40 FT.
SIDE INTERIOR	= 10 FT.
CORNER	= 35 FT.
ATTACHED GARAGE (Interior lot line)	= 6 FT.
MINIMUM LOT WIDTH AT SETBACK	= 80 FT.
MINIMUM LOT DEPTH	= 130 FT.
MINIMUM USABLE LOT DEPTH	= 110 FT.
(Front Lot Line to 25' Behind Pcd.)	
MAXIMUM PRINCIPAL STRUCTURE HGT.	= 35 FT.
MINIMUM LOT AREA	= 11,400 SQ.FT.
AVERAGE LOT AREA	= 17,338 SQ.FT.

AREA SUMMARY TABULATION

AREA SUMMARY TABULATIONS	ACRES
GROSS RESIDENTIAL AREA	20.63
WETLANDS AND NON STORMWATER PONDS INCLUDING BUFFERS	N/A
PUBLIC PARKS/OPEN SPACES	NA
ARTERIAL ROW - ANDOVER BLVD.	1.34
FLOOD PLAIN	0.52
NET RESIDENTIAL AREA	18.77
TOTAL NUMBER OF LOTS	43
TOTAL NUMBER OF UNITS	43
NET DENSITY (UNITS/ACRES)	2.3
RIGHT OF WAY AREA - INTERNAL	3.05
COUNTY RIGHT OF WAY AREA	1.34
EASEMENT AREA	5.33
INTERNAL ROAD MILES	0.49 MILES

LOT AREA TABULATION

LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE						
Parcel	LOT/BLK	AREA	Parcel	LOT/BLK	AREA	Parcel	LOT/BLK	AREA
1	1/1	17345	17	8/2	13720	33	22/2	13721
2	2/1	13005	18	7/2	13720	34	22/2	13721
3	3/1	13005	19	8/2	13720	35	24/2	13800
4	4/1	12000	20	5/2	13720	36	1/2	13332
5	5/1	12000	21	10/2	13720	37	3/2	13798
6	6/1	12000	22	11/2	14000	38	1/2	12798
7	7/1	12000	23	12/2	14475	39	1/2	12872
8	8/1	12000	24	13/2	14517	40	1/4	47350
9	9/1	12000	25	14/2	14328	41	2/4	46670
10	10/1	12000	26	15/2	14878	42	3/4	46130
11	11/1	15270	27	16/2	13875	43	4/4	46808
12	1/2	13934	28	17/2	13721	44	ANDOVER BLVD	59232
13	2/2	13720	29	18/2	13721	45	UNIVERSITY AVE	17954
14	3/2	13720	30	19/2	13721	46	144TH LANE NW	56801
15	4/2	13720	31	20/2	13721	47	144TH AVE NW	28427
16	5/2	13720	32	21/2	13721			



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 SAINT PAUL, MINNESOTA 55110
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MUNICIPALITY
 CITY OF ANDOVER

PROJECT
CATCHERS CREEK EAST
 ANDOVER, MINNESOTA

SHEET INDEX

SHEET	TITLE
C2.1	CIVIL TITLE SHEET
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C2.3	3-D PPP NOTES
C2.1	PRELIMINARY UTILITIES
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ISSUE / REVISION HISTORY

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17 DEC 2018	REV. LAYOUT FOR UNIVERSITY AVE. EXT.	ROH
24 JAN 2019	REVISIONS PER CITY REVIEW #5	ROH

PROJECT MANAGER REVIEW
 DATE: 12/28/2019

CERTIFICATION

I hereby certify that this plan as prepared by me, is a true and correct copy of the original and that it is a legal subdivision of land under the laws of the State of Minnesota.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOLD LINES OF THIS PLAN ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY UNAUTHORIZED MEANS. CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

REVISED PRELIMINARY PLAT
 01.24.2019

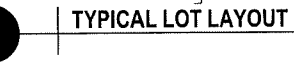
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PRELIMINARY PLAT \$ SITE PLAN
C2.2

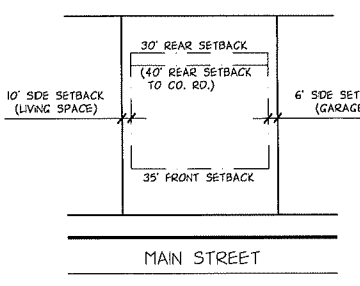
SHEET NO. 4/11



SETBACK SUMMARY

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 FRONT YARD = 35 FT.
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 MINIMUM PRINCIPAL STRUCTURE HGT. = 35 FT.
 MINIMUM LOT AREA = 11,400 SQ.FT.
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TYPICAL SETBACKS



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16	5/2	13720	32	21/2	13721			

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LEGAL DESCRIPTION

Preliminary Plat Description
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